



**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

**MEMPHIS LANDMARKS COMMISSION
CERTIFICATE OF APPROPRIATENESS**

TO: Terry Clark & Frank Armstrong

ISSUE DATE: January 26, 2023
DOCKET: COA 2022-144
581 South Belvedere Boulevard
Central Gardens Historic District

Sent via electronic mail to: clarkterryd@outlook.com

On November 30, 2022, the Memphis Landmarks Commission ***approved*** your application as a ***MINOR COA*** for New Construction of a 644 sq. ft. (23' by 28') detached garage; and Site Improvements to install new rear yard wall and fence, subject to the following conditions:

1. Rear yard fence, walls, and gates shall be maximum 8 feet in height.
 2. Any change or deviation from the approved Certificate of Appropriateness (COA) shall be submitted to the Memphis Landmarks Commission for review and approval.
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Be advised, this COA expires in one (1) year if a permit has not been issued by the Office of Construction Code Enforcement.

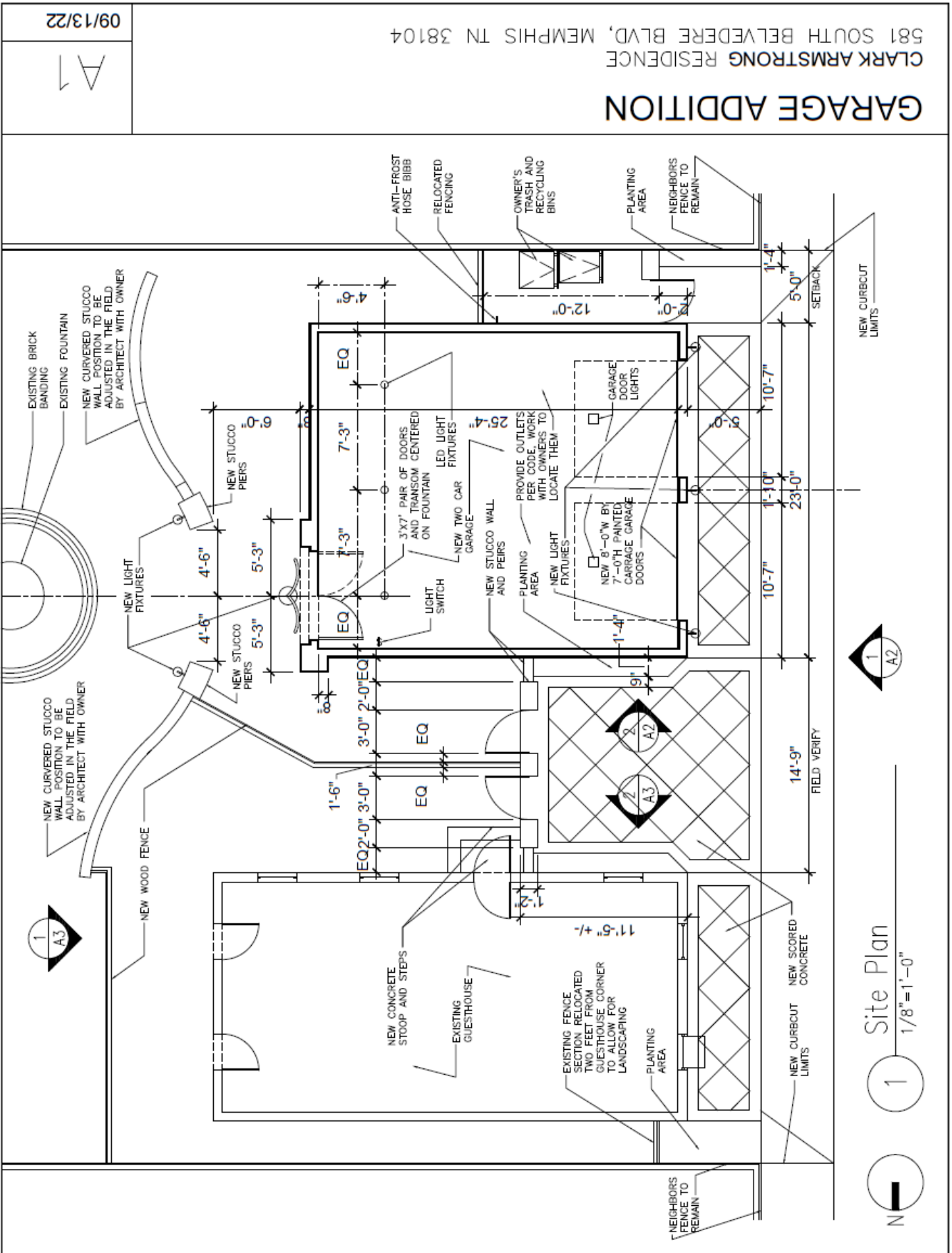
Respectfully,



Ayse Penzes
Urban Design and Preservation Planner III
Land Use and Development Services
Division of Planning and Development

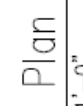
Encl: Approved Site Plan and Elevations, BOA Notice of Disposition (BOA 2022-176)

Site Plan



09/13/22
A1

CLARK ARMSTRONG RESIDENCE
581 SOUTH BELVEDERE BLVD, MEMPHIS TN 38104
GARAGE ADDITION



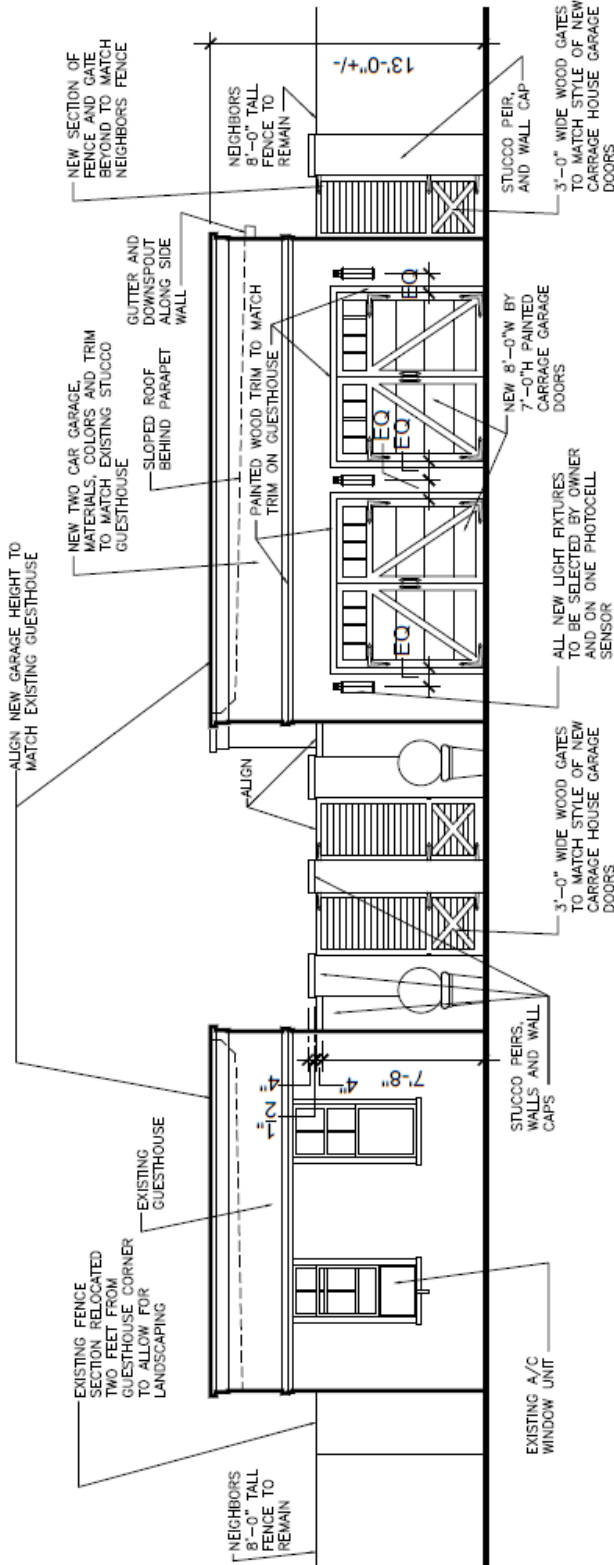
1
Site Plan
1/8"=1'-0"

Elevations

09/13/22

A2

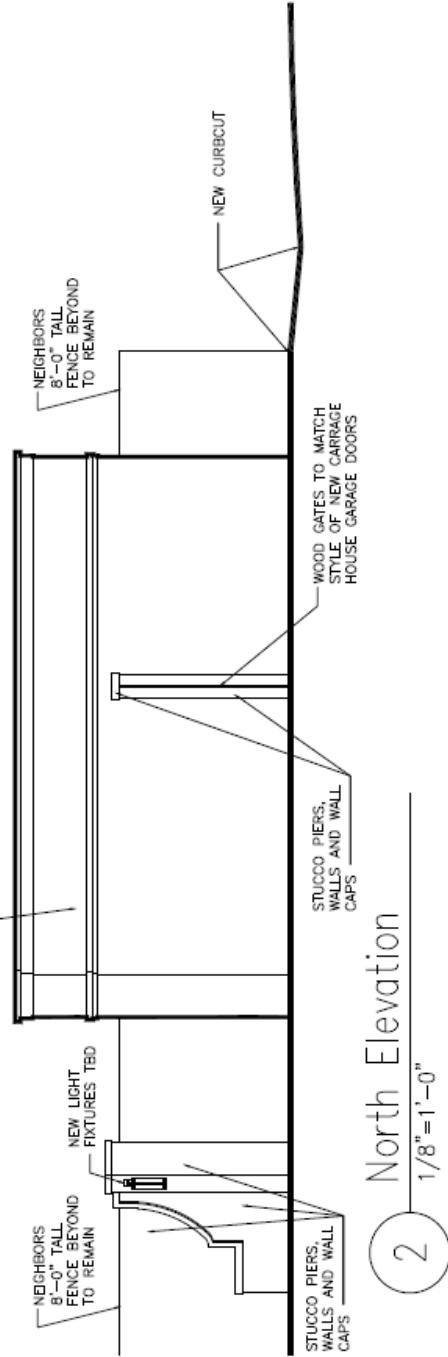
CLARK ARMSTRONG RESIDENCE
581 SOUTH BELVEDERE BLVD, MEMPHIS TN 38104
GARAGE ADDITION



1 West Elevation

1/8" = 1'-0"

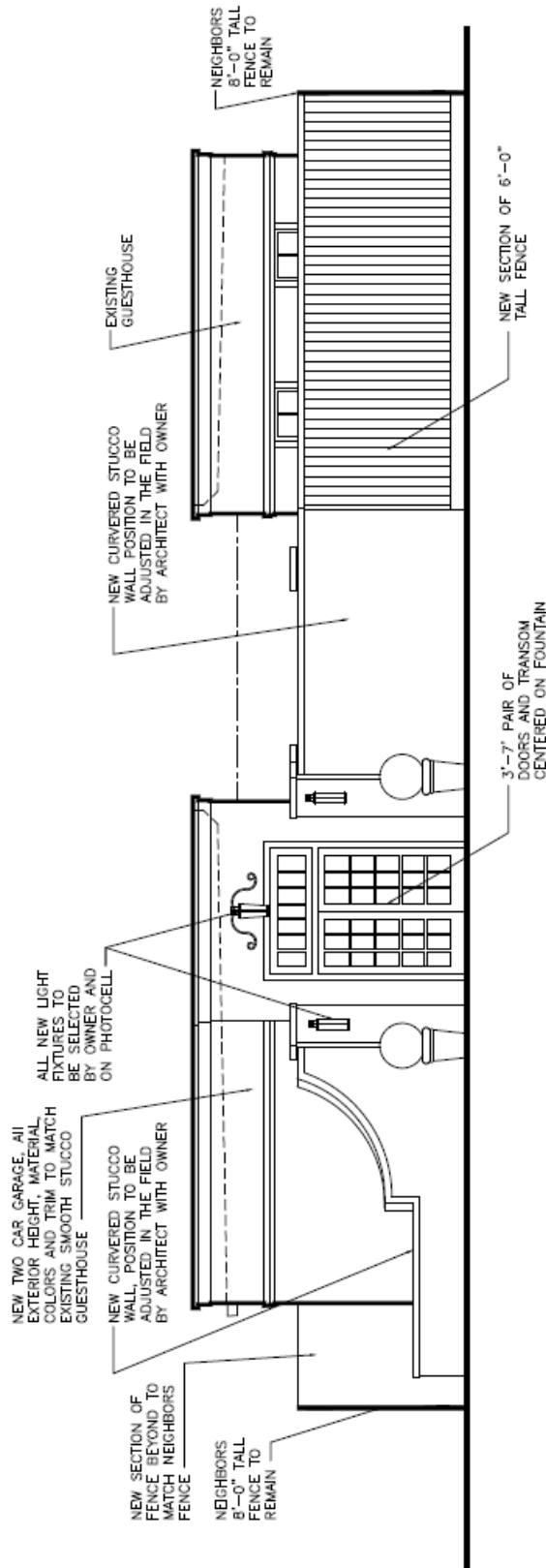
NEW TWO CAR GARAGE. EXTERIOR HEIGHT, MATERIALS, COLORS AND TRIM TO MATCH EXISTING SMOOTH STUCCO GUESTHOUSE



2 North Elevation

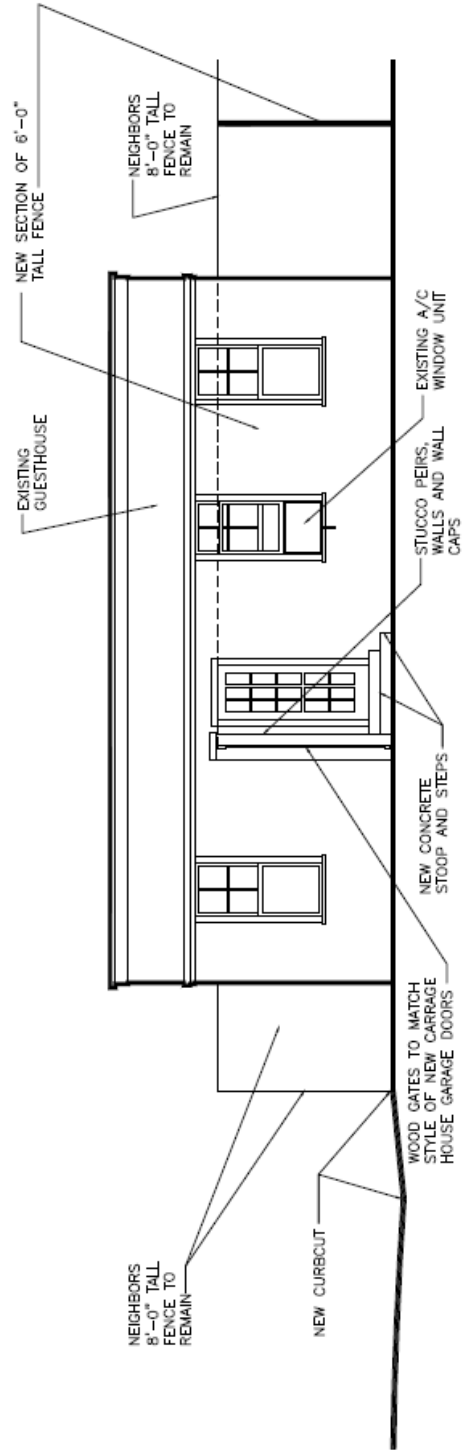
1/8" = 1'-0"

GARAGE ADDITION



1 East Elevation not Visible from the Street

1/8"=1'-0"



2 South Elevation

1/8"=1'-0"



BOARD OF ADJUSTMENT NOTICE OF DISPOSITION

TO: Applicant
Terry Clark and Frank Armstrong

DATE: January 26, 2023
DOCKET: BOA 2022-176
581 S Belvedere Blvd

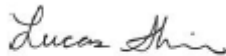
Sent via electronic mail to: clarkterryd@outlook.com

On January 25, 2023, the Memphis and Shelby County Board of Adjustment approved your application requesting variance from Paragraph 2.7.2A (4) of the Memphis and Shelby County Unified Development Code to allow a garage to be located within the front yard (double frontage lot), subject to the following conditions:

1. Any change or deviation from the site plan or elevations upon the determination of the Zoning Administrator shall be submitted to the Board of Adjustment for review and approval or administrative review and approval by the Division of Planning and Development.

All appeals and applications granted are expressly conditioned upon the applicant obtaining the permit requested or other order within two years from the date of the decision of the Board of Adjustment, unless the Board explicitly provided a different time frame in its approval.

Respectfully,

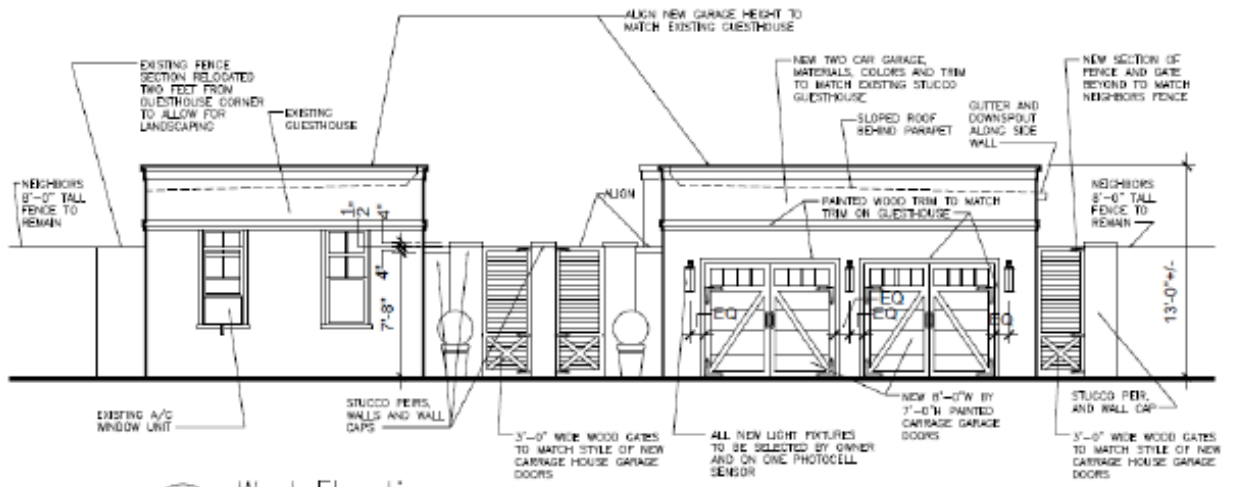


Lucas Skinner
Planner III
Land Use and Development Services
Division of Planning and Development

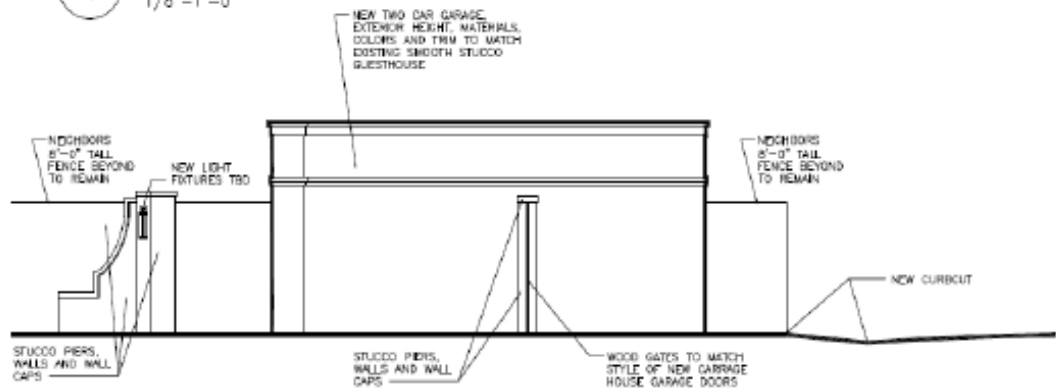
Cc: Chris Simmons – Zoning Enforcement
Antwone Smith – Zoning Enforcement
File

Encl: Approved plan(s)

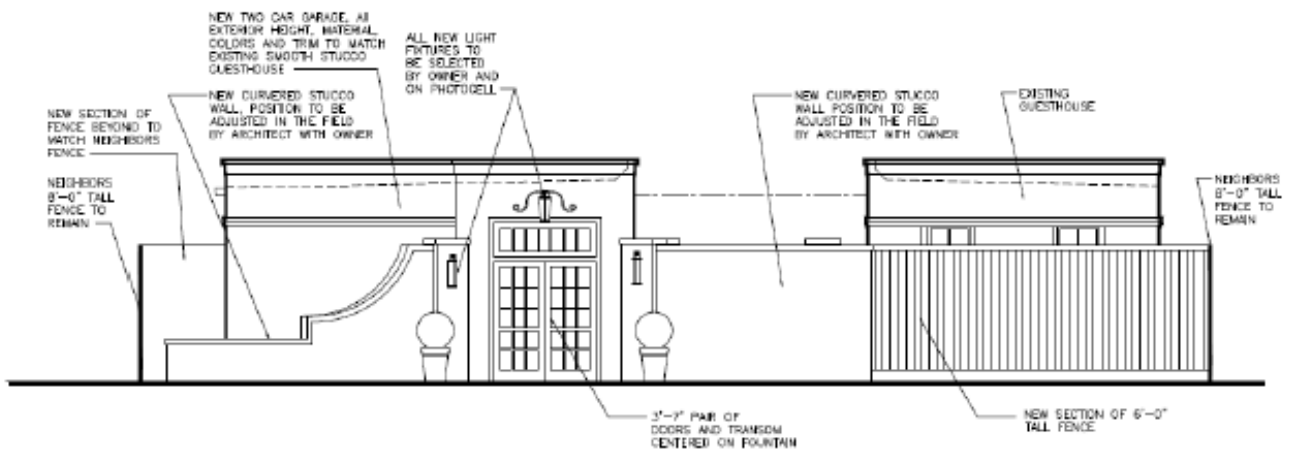
ELEVATIONS



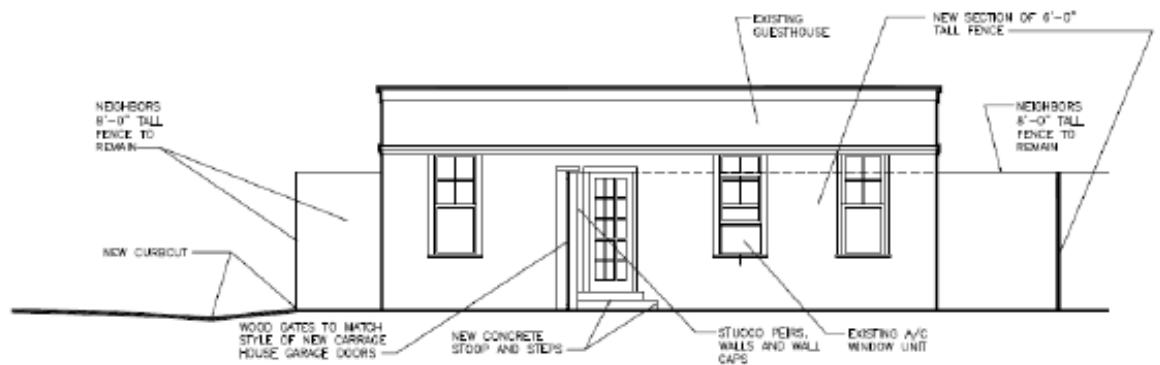
1 West Elevation
1/8" = 1'-0"



2 North Elevation
1/8" = 1'-0"



1 East Elevation not Visible from the Street
 1/8"=1'-0"



2 South Elevation
 1/8"=1'-0"