



**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

**MEMPHIS LANDMARKS COMMISSION
CERTIFICATE OF APPROPRIATENESS**

TO: Lucien Nedzi
Greg Pope

ISSUE DATE: October 6, 2022
DOCKET: COA 2022-130
1457 Goodbar Avenue
Central Gardens Historic District

Sent via electronic mail to: Lnedzi@me.com; ga.pope@outlook.com

On October 6, 2022, the Memphis Landmarks Commission **approved** your application as a **MINOR COA** for Site Improvements to install a new 16” to 18” tall, retaining wall, subject to the following conditions:

1. The new retaining wall shall not exceed 18 inches in height.
2. The new retaining wall shall be of appropriate materials such as brick.
3. Any change or deviation from the approved Certificate of Appropriateness (COA) shall be submitted to the Memphis Landmarks Commission for review and approval.

Be advised, this COA expires in one (1) year if a permit has not been issued by the Office of Construction Code Enforcement.

Respectfully,

Ayse Penzes

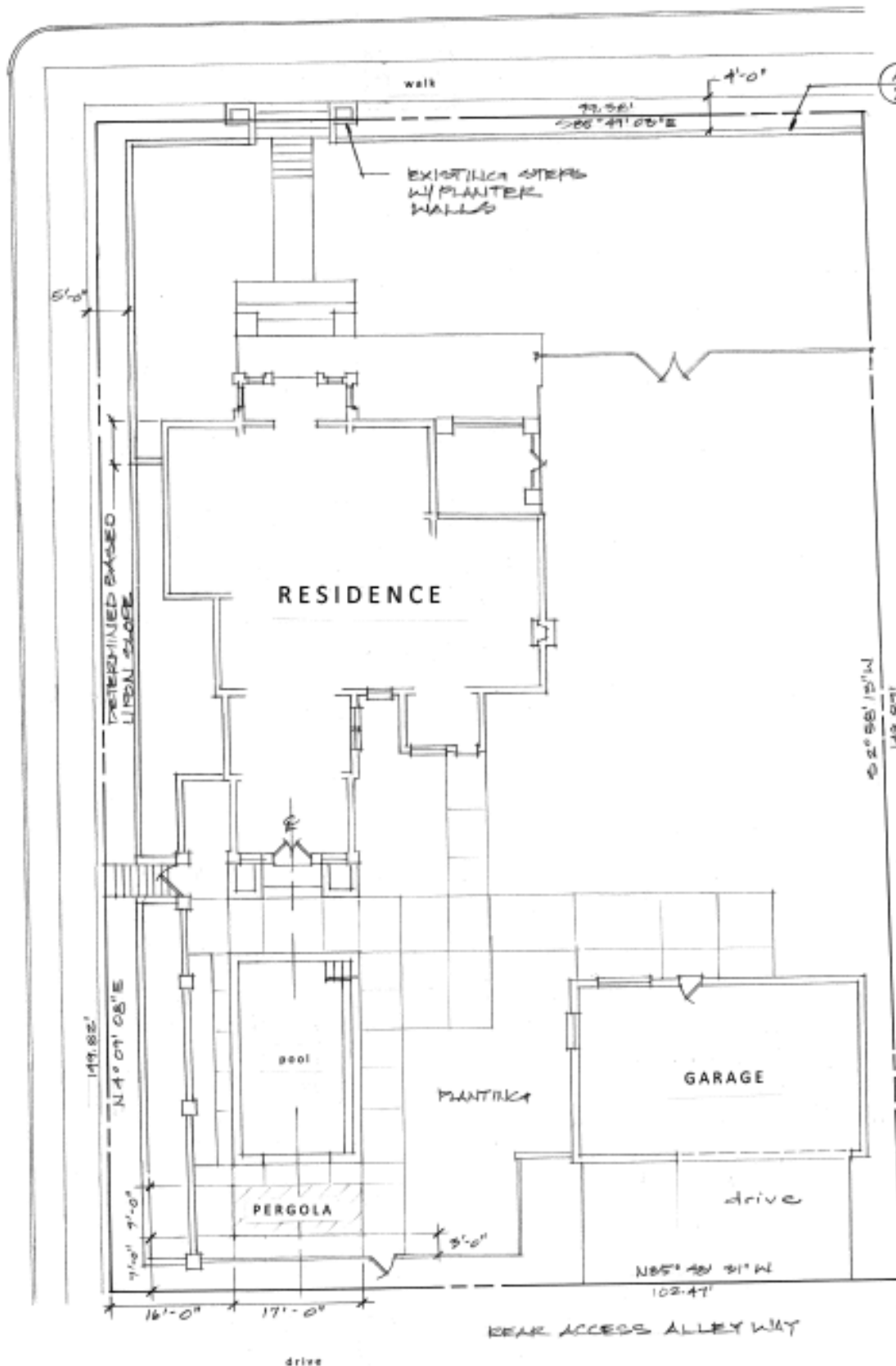
Ayse Penzes
Municipal Planner
Land Use and Development Services
Division of Planning and Development

Encl: Approved Site Plan and Retaining Wall Details

Site Plan

GOODBAR

MELROSE



AT BASE OF EXIST. 5' SLOPE -

(A) 2

4'-0"

72.56' 206° 41' 08" E

EXISTING STEPS W/ PLANTER WALLS

RESIDENCE

pool

PERGOLA

PLANTER

GARAGE

drive

149.82'

140° 01' 08" E

7'-0'

7'-0'

16'-0"

17'-0"

3'-0"

102.47'

165° 48' 31" W

drive

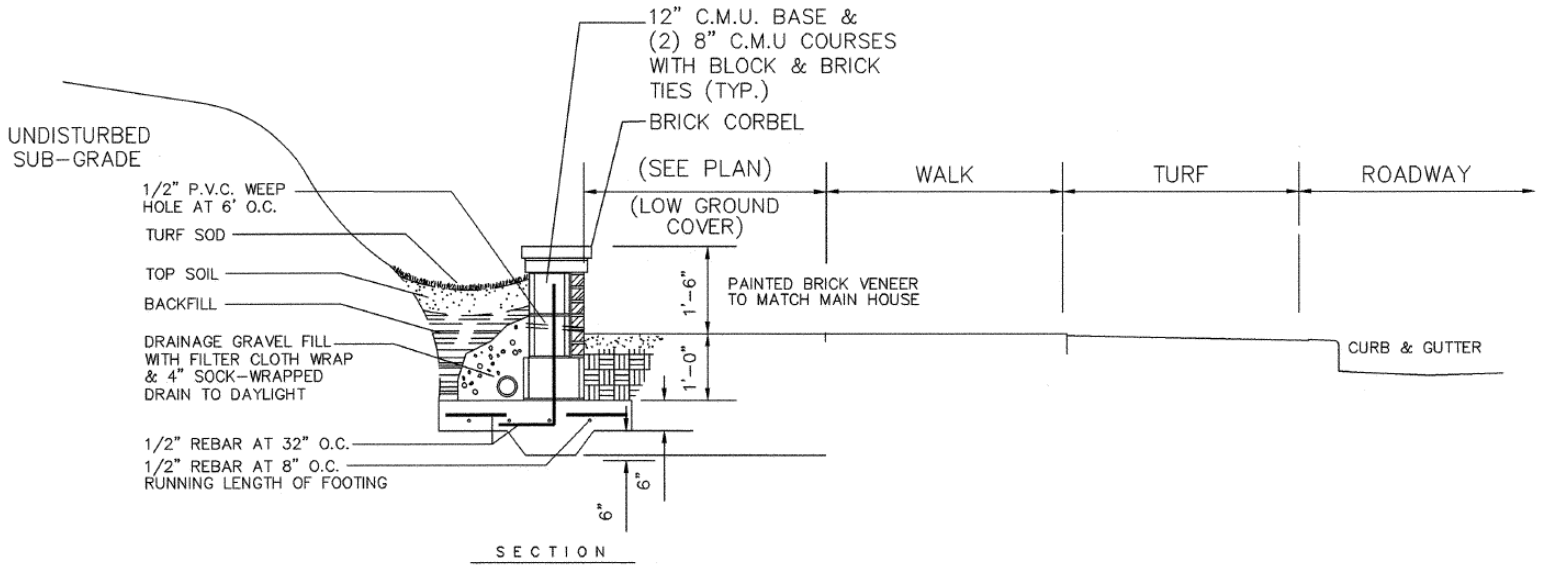
REAR ACCESS ALLEY WAY

149.87'

20° 58' 15" W

NOTE: A UTILITY LOCATE SHALL BE CALLED IN PRIOR TO EXCAVATION & CONSTRUCTION.

Retaining Wall Details



LOW RETAINING WALL DETAIL

SCALE: 1/2" = 1'-0"

A
2

