



**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

**MEMPHIS LANDMARKS COMMISSION
CERTIFICATE OF APPROPRIATENESS**

TO: James & Donna Windham

ISSUE DATE: May 6, 2022

DOCKET: COA 2022-044

883 Sheridan Street

Vollintine Evergreen HD

Sent via electronic mail to: donna.windham@gmail.com

On May 6, 2022, the Memphis Landmarks Commission ***approved*** your application as a ***MINOR COA*** for Exterior Alterations to add a new porch at the front of an existing garage; and Site Improvements to construct a new gate and replace existing driveway, subject to the following conditions:

1. Wood picket gate shall not exceed 6 feet in height.
2. Any change or deviation from the approved Certificate of Appropriateness (COA) shall be submitted to the Memphis Landmarks Commission for review and approval.

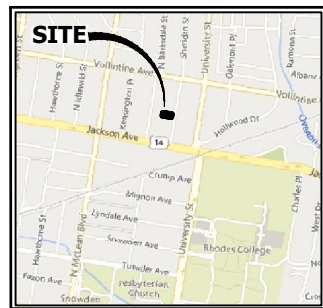
Be advised, this COA expires in one (1) year if a permit has not been issued by the Office of Construction Code Enforcement.

Respectfully,



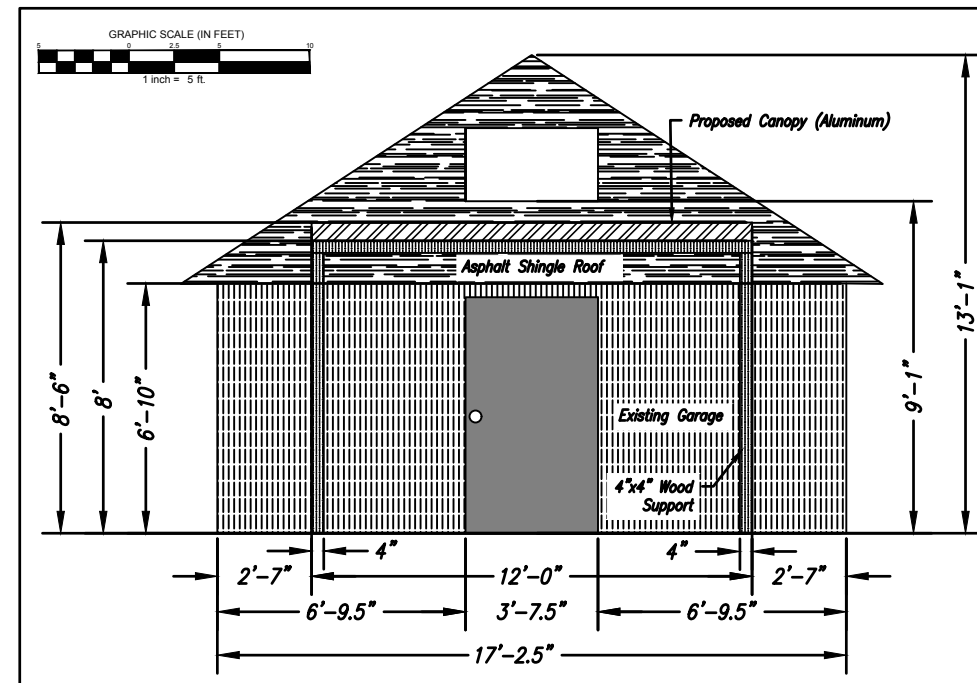
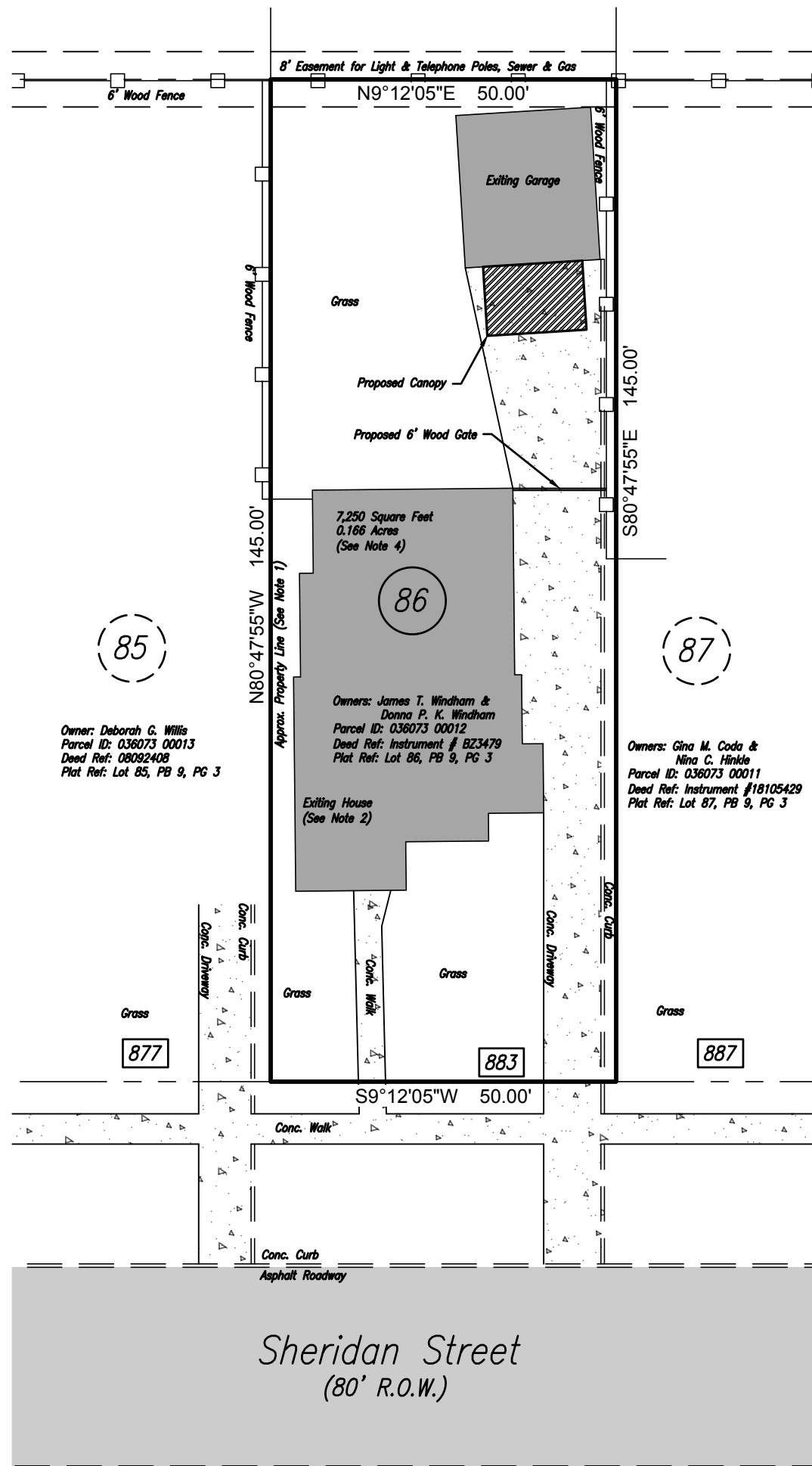
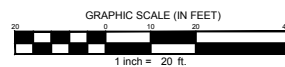
Margot Payne
Urban Design & Preservation Planner
Land Use and Development Services
Division of Planning and Development

Encl: Plans & Elevations

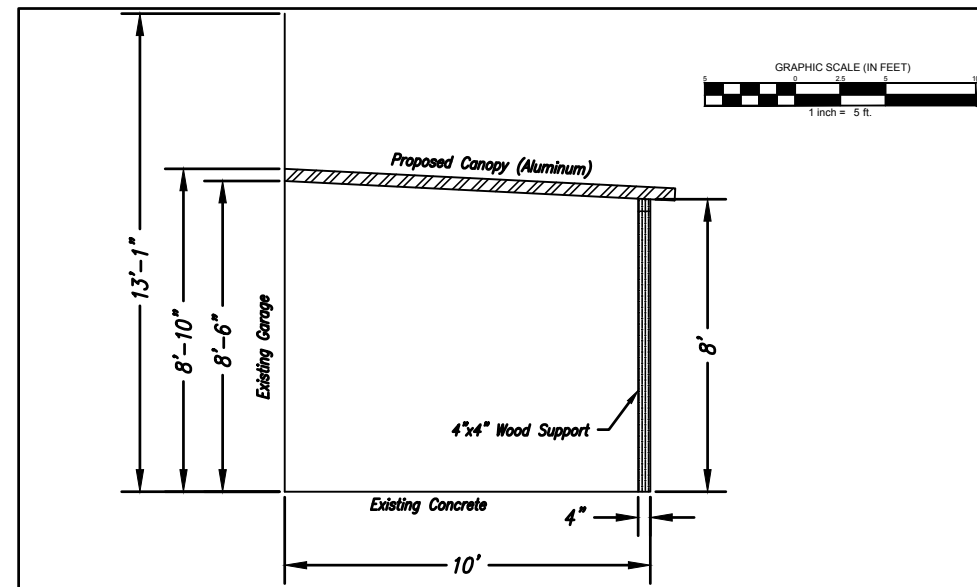


VICINITY MAP

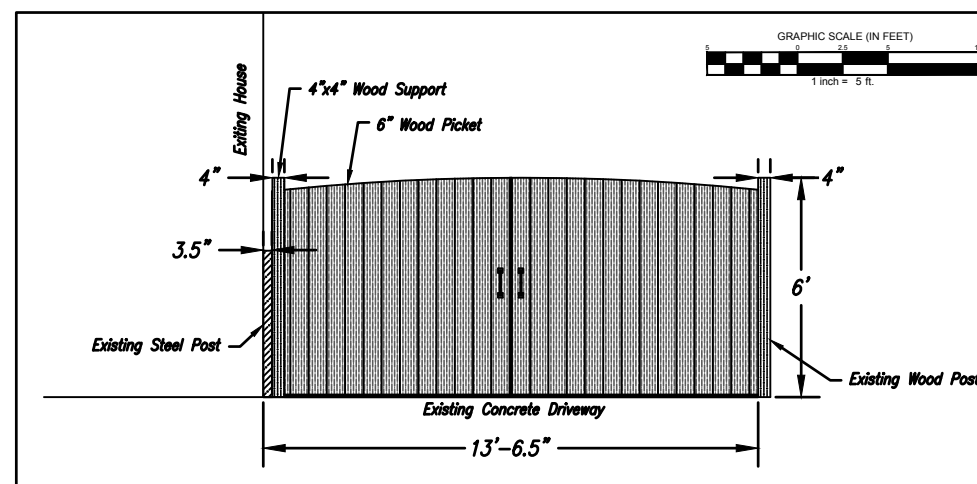
NTS



Detail A: Front Profile



Detail B: Side Profile



Detail C: Wood Gate Concept

GENERAL NOTES:

1. This plan is not a general property survey as defined by rule 0820-03 of the standards of practice established by the Tennessee Board of Examiners for Land Surveyors. All information shown was gathered from and referenced by publicly available sources.
2. The residence depicted hereon was drafted per the property building sketch of record in the office of the Assessor of Property for Shelby County, Tennessee.
3. Bearings as shown hereon are referenced to the Tennessee Coordinate System of 1983.
4. All Plat and Deed recordation references shown hereon are as recorded in the Register's Office for Shelby County, Tennessee.
5. This property contains 7,250± Sq.Ft. or 0.166 Acres, and is shown per the plat of record in Plat Book 9, Page 3.
6. This plan does not assume the ownership of any fences shown hereon.
7. All detailed information pertaining to proposed additions have been provided by the owner. It is the intention that any proposed property improvements comply fully with the Evergreen Historic Conservation District Design Guidelines.

DATE:
04-18-2022

Appurtenant Structure Improvement Plan
**LOT 86, FOSTER & STEVENSON'S
COLONIAL GARDENS SUBDIVISION**
883 Sheridan Street,
City of Memphis
7th Civil District of Shelby County, Tennessee

FOR:
James T. Windham &
Donna P. K. Windham

REV.	DATE	DESCRIPTION
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△		
△		
△		
△		

FOR REVIEW BY THE EVERGREEN
HISTORIC CONSERVATION DISTRICT

PROJECT NO: 883 Sheridan
DRAWN BY: JAD
CHECKED BY: JAD
APPROVED BY: JAD

SCALE: (VARIES)