



**MEMPHIS AND  
SHELBY COUNTY** **DIVISION OF PLANNING  
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

**MEMPHIS LANDMARKS COMMISSION  
CERTIFICATE OF APPROPRIATENESS**

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TO: Jessica & Connie Willis

ISSUE DATE: May 9, 2022

DOCKET: COA 2022-045

343 Williford Street

Lea's Woods HD

***Sent via electronic mail to: [cmdwillis50@gmail.com](mailto:cmdwillis50@gmail.com)***

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On May 6, 2022, the Memphis Landmarks Commission ***approved*** your application as a ***MINOR COA*** for New Construction of a detached garage (16 ft. by 20 ft.), subject to the following conditions:

1. The new garage structure shall be setback minimum of 5 feet from rear and side property lines and shall be minimum 5 feet away from all other structures (home, shed, etc.) on the same lot.
2. Exterior of the new garage shall be of wood or other appropriate material and shall have maximum 6-inch reveal.
3. Roof of the new garage shall be of architectural shingles.
4. Any change or deviation from the approved Certificate of Appropriateness (COA) shall be submitted to the Memphis Landmarks Commission for review and approval.

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Be advised, this COA expires in one (1) year if a permit has not been issued by the Office of Construction Code Enforcement.

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Respectfully,



Ayse Penzes

Municipal Planner

Land Use and Development Services

Division of Planning and Development

Encl: Approved site plan and garage details

Site Plan

ADDRESS  
2406 Eastwood Ave

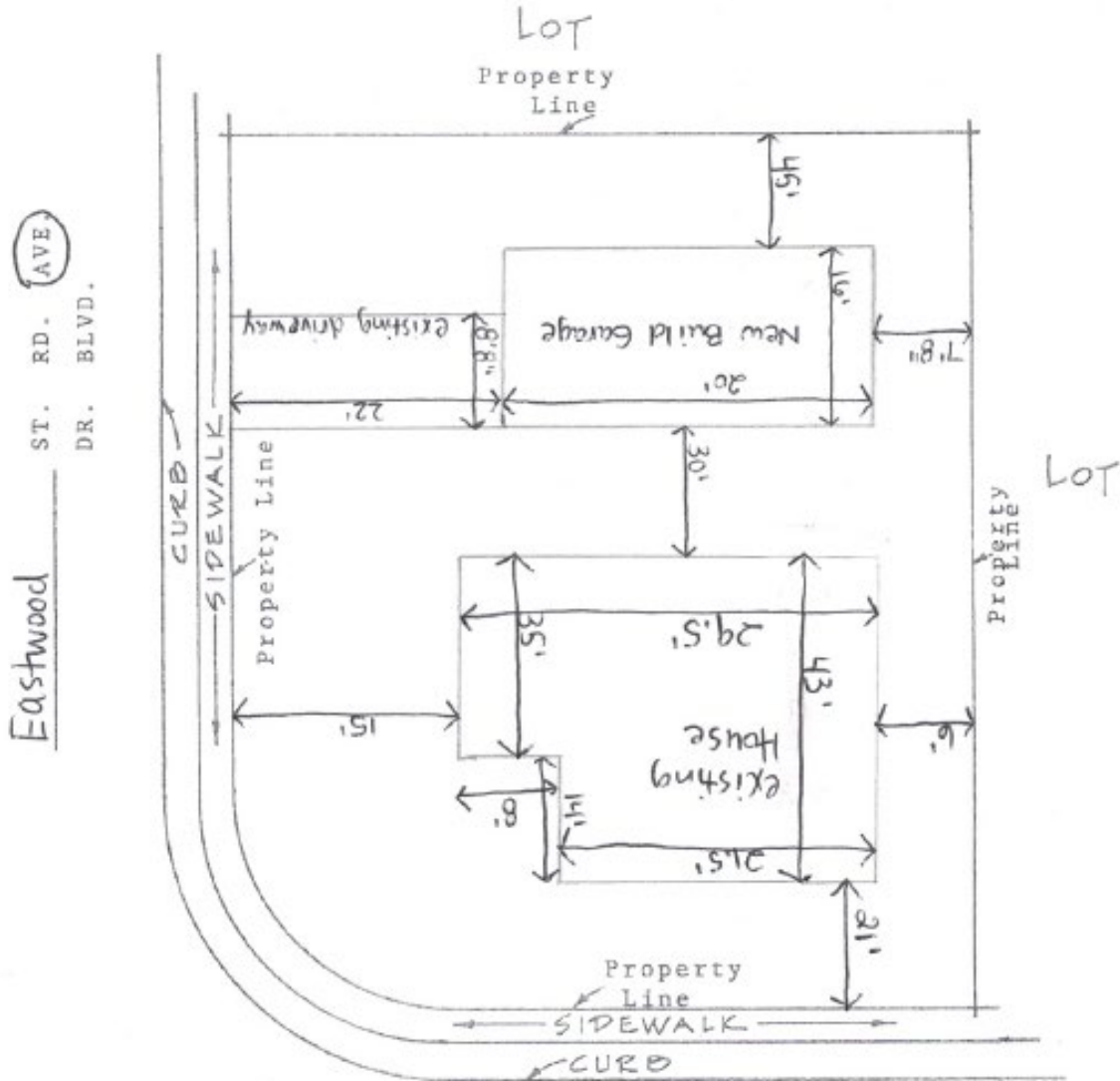
DATE  
April 3, 2022

SIGNATURE  
Connie Willis

TYPICAL CORNER LOT

MEMPHIS & SHELBY COUNTY OFFICE OF  
CONSTRUCTION CODE ENFORCEMENT


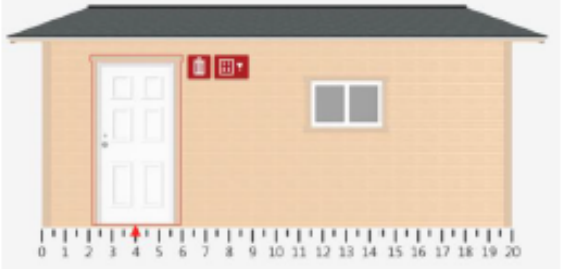
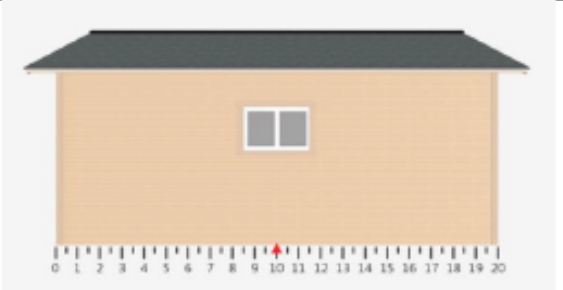
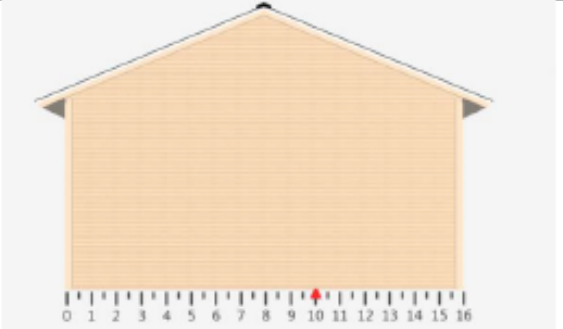
6465 Mullins Station Rd. Memphis, TN 38134

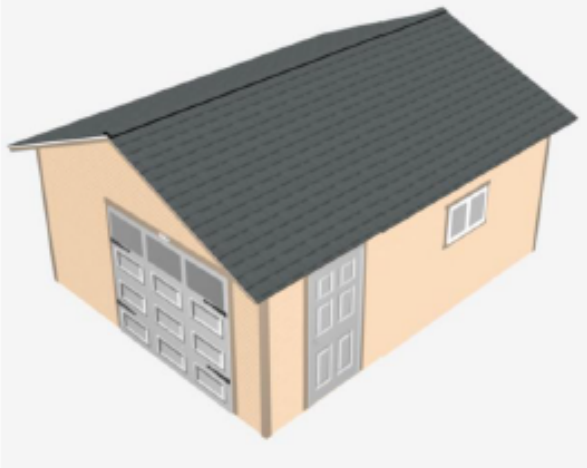


Eastwood ST. RD. AVE. DR. BLVD.

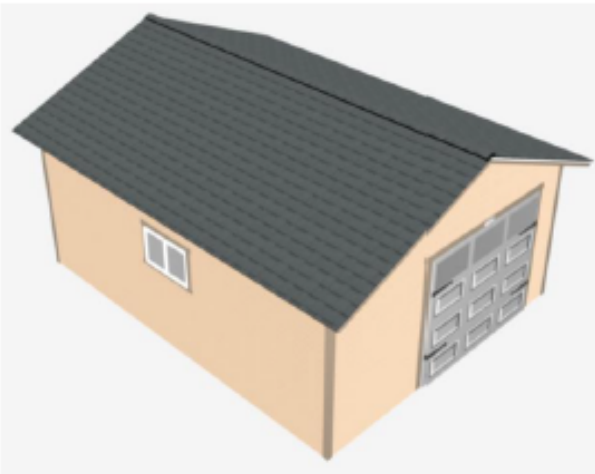
Williford (ST.) RD. AVE. DR. BLVD.

# Garage Details

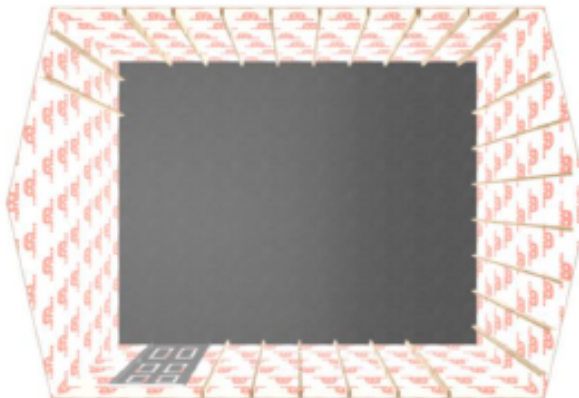
All sides of garage with dimensions	Details and Materials
 <p data-bbox="191 611 781 642">Street view from Eastwood avenue perspective.</p>	<ul data-bbox="911 216 1468 506" style="list-style-type: none"> <li>• The building will be on a concrete slab</li> <li>• 8' x 7' overhead garage door aligned with existing driveway</li> <li>• Horizontal lap siding</li> <li>• Wall paint the same color as the existing home</li> <li>• Trim paint the same color as the existing home</li> </ul>
 <p data-bbox="191 932 797 963">Side view from the home's back door perspective</p>	<ul data-bbox="911 653 1511 905" style="list-style-type: none"> <li>• Right hand outswing 6-panel residential door</li> <li>• Horizontal lap siding</li> <li>• Wall paint the same color as the existing home</li> <li>• Trim and door paint the same color as the existing home</li> <li>• 3' x 2' insulated horizontal sliding window</li> </ul>
 <p data-bbox="191 1276 818 1310">Side view from 2396 Eastwood avenue perspective</p>	<ul data-bbox="911 974 1468 1188" style="list-style-type: none"> <li>• Horizontal lap siding</li> <li>• Wall paint the same color as the existing home</li> <li>• Trim paint the same color as the existing home</li> <li>• 3' x 2' insulated horizontal sliding window</li> </ul>
 <p data-bbox="191 1654 753 1724">Back view from 349 Williford street back yard perspective</p>	<ul data-bbox="911 1318 1455 1493" style="list-style-type: none"> <li>• Horizontal lap siding</li> <li>• Wall paint the same color as the existing home</li> <li>• Trim paint the same color as the existing home</li> </ul>



- 5/12 pitched roof
- An expander roof vent
- Eave depth is 12"
- Shakewood dimensional premium shingle



View of roof from arial perspective



Inside view of building

- Walls will be unfinished on the inside of the building
- Walls house wrap for future insulation
- No electricity at the time of initial build