

B. Apartment and Nonresidential

	RW*	OG	CMU-1	CMU-2	CMU-3	CBD	
Tract or Lot (min)							
Area (sq. ft.)	5,000	—	10,000	20,000	—	—	
Width (ft.)	50	100	25	50	50	—	
Building							
Height (max ft.) see also 3.2.6	50	125	48	75	75	—	
Ground floor area (max sq. ft.)**	—	—	15,000	80,000	—	—	
Setback (min ft.)							
Front	20	20	20	20	20	None***	
Side (street)	20	20	20	20	20	None***	
Side/rear abutting single-family	10	10	10	10	10	None***	
Side/rear abutting multifamily, nonresidential	5	5	5	5	5	None***	
Side/rear abutting alley	5	5	5	5	5	None***	
Parking setback (min ft.)							
On street (parallel parking)	0	0	0	0	0	0	
From street (no parallel parking)	8	8	8	8	8	8	
Abutting single-family	10	10	10	10	10	10	
Abutting multifamily, nonresidential, alley	5	5	5	5	5	5	
			CMP-1	CMP-2	EMP	WD	IH
Tract or Lot (min)							
Area (sq. ft.)		10,000	20,000	20,000	20,000	20,000	20,000
Width (ft.)		25	50	50	50	50	50
Building							
Height (max ft.) see also 3.2.6		125	75	60	60	60	60
Height (max ft.) more than 100 ft from a residential district		125	75	60	60	60	100
Setback (min ft.)							
Front		20	20	30	30	30	30
Side (street)		20	20	20	20	20	20
Side/rear abutting single-family		10	25	10	10	10	10
Side/rear abutting multifamily, nonresidential		5	5	5	5	5	5
Side/rear abutting alley		5	5	5	5	5	5
Parking setback (min ft.)							
On street (parallel parking)		0	0	0	0	0	0
From street (no parallel parking)		8	8	8	8	8	8
Abutting single-family		10	10	10	10	10	10
Abutting multifamily, nonresidential, alley		5	5	5	5	5	5

*Residential compatibility standards may apply see D

**Maximum ground floor area shall not apply to sites that were developed prior to Jan. 1, 2011. Buildings on sites developed prior to Jan. 1, 2011, may be expanded, modified or rebuilt and exceed the maximum ground floor area standards.

***A property owner may also choose to opt into the CBD District Form Standards of Sub-Section 3.10.2E in lieu of these standards.

1. Reduced Front Setbacks

The minimum front and side street setbacks of 20 feet as specified in Sub-Section 3.10.1A above may be reduced to zero feet provided the following provisions are met for any portion of the building façade that comes within 20 feet of the front or side property line:

a. Blank Wall Area

Blank lengths of wall exceeding 30 linear ft. are prohibited.

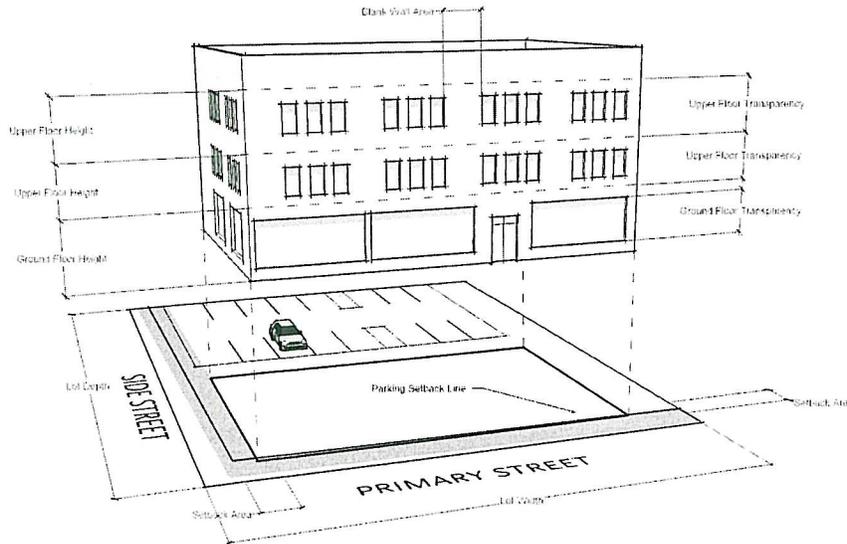
b. Transparency

1. Ground floor facades for nonresidential uses must provide a minimum transparency of 40%; however, the transparency requirement may be reduced to 30% if no façade plane of the building facing a public street exceeds a length to height ratio of 4:1. The offset between planes must be a minimum of 12 inches.
2. Ground floor facades for residential uses must provide a minimum transparency of 20%.

(3-10-2E)

E. CBD District Form Standards

The following building form standards apply in the CBD District.



PLACEMENT

ELEMENTS

HEIGHT

SETBACK AREA

2ft min. (7 ft. if ground floor use is a restaurant with outdoor seating) to 15 ft. max. behind ROW line.

CONTEXTUAL INFILL

For any infill project in the CBD with less than 75 feet of frontage, and upon approval of the Planning Director, structures may be located closer to the ROW line than the minimum setback permits provided that the structure is located within the range of front setbacks on the street. This range of setbacks is measured on the basis of the four closest lots in either direction along the street). The new structure shall be located within the range of established setbacks (no closer than the narrowest setback, no further than the deepest setback). Where a setback in these four lots is significantly out of the range of setbacks along the street, it may be eliminated from the range.

REQUIRED BUILDING FRONTAGE

1. Primary street. Building façade must be located within the setback area for a minimum of 90% of the site width. The required building frontage may be reduced to accommodate no more than a single 20-ft. access drive for a rear parking area.
2. Side street. The building façade must be located within the setback area for a minimum of 60% of the site depth.

SIDE/REAR SETBACKS

Abutting single-family: 10 ft min. Abutting multifamily, nonresidential: no minimum.

PARKING SETBACK

Primary street setback. Min 30 ft. behind ROW line.
Side street setback. Min 10 ft. behind ROW line.
Parking shall be located behind the parking setback line. No parking is permitted between the street and the building. This requirement shall not restrict on-street parking.

TRANSPARENCY (WINDOWS & DOORS)

1. Ground floor. Primary Street, Nonresidential Use: 50% min, Residential Use: 20% min. Side Street, Nonresidential Use: 30% min, Residential Use: 20%. Ground floor transparency is measured between 2 and 10 ft. above the adjacent sidewalk. Ground floor residential, office and industrial uses may provide translucent windows to meet all transparency requirements.
2. Upper floor. Min 20% (floor to floor).
3. Retail sales and service uses. A minimum of 60% of the window pane surface area shall allow views into the ground floor for a depth of at least 8 ft. Windows shall not be made opaque by window treatments (excepting operable sunscreen devices within the conditioned space).

BUILDING ENTRANCE

1. A functioning entrance, operable during normal business hours, is required facing the primary street. An angled entrance may be provided at either corner of the building along the primary street to meet this requirement.
2. A building located on two primary streets shall have either one entrance per frontage or provide one angled entrance at the corner of the building at the intersection. Buildings located on corner lots shall meet all applicable intersection sight distance requirements. Additional entrances off another street, pedestrian area or internal parking area are permitted.
3. For nonresidential uses, a minimum of 50% of the required entrance shall be transparent.
4. Recessed entrances shall not exceed 3 ft. in depth and one floor in height.

BLANK WALL AREA

Blank lengths of wall exceeding 30 linear ft. are prohibited on all primary street and side street building façades.

GROUND FLOOR ELEVATION

For ground floor uses, the ground floor finished elevation shall be a minimum of 18 inches above the adjacent sidewalk. There is no minimum for ground floor nonresidential uses.

FLOOR HEIGHT

1. Nonresidential Use: Ground floors shall have a floor to floor height of at least 14 ft.
2. Residential Use: Ground floors shall have a floor to floor height of at least 11 ft.
3. Each upper floor shall have a floor to floor height of at least 9 ft.